

PROLOGIS PARK TORRANCE FOR LEASE

1,084,192 sq. ft. of Industrial Buildings



**19600-19988 VAN NESS AVENUE
TORRANCE, CALIFORNIA**



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PROLOGIS PARK TORRANCE

19600 - 19988 VAN NESS AVENUE, TORRANCE, CA

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PROLOGIS PARK TORRANCE

19600 - 19988 VAN NESS AVENUE, TORRANCE, CA

I. PROPERTY DESCRIPTION

PROLOGIS PARK TORRANCE

19600 – 19988 VAN NESS AVENUE, TORRANCE, CA

I. PROPERTY DESCRIPTION

The Project consists of four new 30' clear state-of-the-art industrial buildings totaling 1,084,192 square feet that are situated on a 48.97-acre site located along Van Ness Avenue, south of 190th Street in the City of Torrance, California. All buildings have true dock high truck loading positions, ground level ramps, a 260' common truck court, ESFR fire sprinklers, and heavy power, expandable to suit.

The property is less than a mile from on/off ramps to the 405 Freeway, which then provides immediate access to the 110 Freeway. Los Angeles International Airport and the Ports of Los Angeles and Long Beach are only minutes from the site. A portion of the Property is potentially served by the Burlington Northern and Santa Fe Railway.

ProLogis Park Torrance offers redundant fiber optics capability with services from two central offices. Currently the "Super South Bay Ring", a fiber optic Sonet ring, exists at the intersection of Van Ness Avenue and 190th Street and may be extended to ProLogis Park Torrance.

Industrial Building Sizes:

Building 1	670,292 square feet	Divisible to ±200,000 square feet
Building 2	177,320 square feet	Divisible to ±80,000 square feet
Building 3	101,076 square feet	Divisible to ±40,000 square feet
Building 4	135,504 square feet	Divisible to ±60,000 square feet

PROLOGIS PARK TORRANCE

19600 – 19988 VAN NESS AVENUE, TORRANCE, CA

Industrial Building Features:

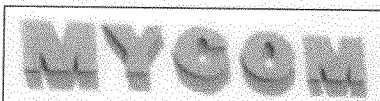
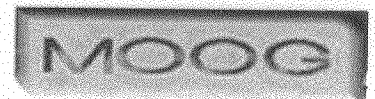
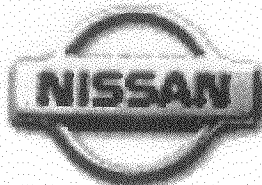
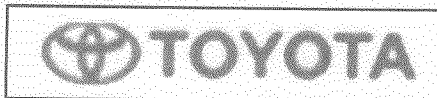
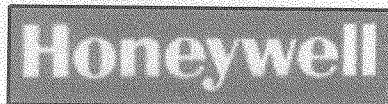
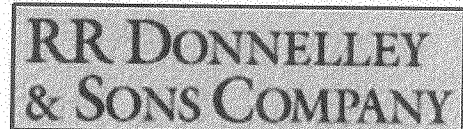
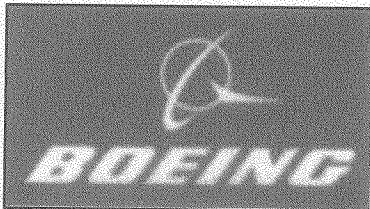
- 30' Warehouse Clear Height.
- ESFR Fire Sprinklers with pump.
- Ample External Dock High Loading.
- True Dock High Loading with a 260' Common Truck Court Area.
- Cross Dock Loading at Building 1.
- Ground Level Ramps provided for each building.
- 4,000 and 1,600 amp services installed. Power is expandable.
- Metal Halide Warehouse Lighting.
- Offices finished to suit.
- Steel Truss, Wood Panelized Roof System.
- 6½" Floor Slab Thickness throughout.
- 2½% Skylights.
- Fencing Possible.
- BNSF Rail Possible.
- **For detailed Building Design Criteria, see Section V.**

PROLOGIS PARK TORRANCE

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Corporate Neighbors Include:

- ◆ Boeing
- ◆ Honeywell
- ◆ Toyota
- ◆ Nissan
- ◆ Honda
- ◆ Lexus
- ◆ RR Donnelley & Sons
- ◆ Coca Cola
- ◆ Frito Lay
- ◆ Moog
- ◆ Alpine Electronics
- ◆ Virco Furniture
- ◆ Mycom



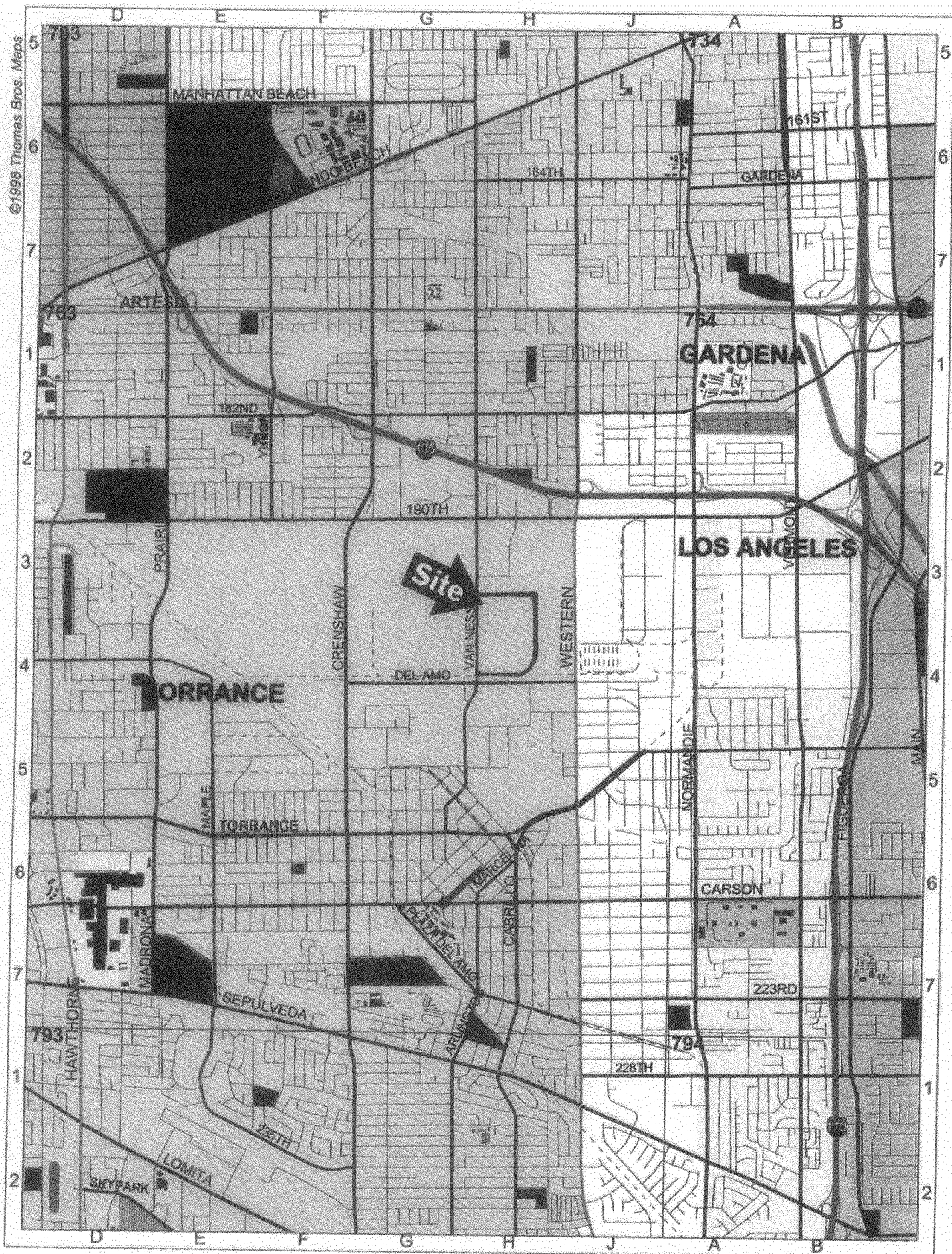


PROLOGIS PARK TORRANCE

19600 - 19988 VAN NESS AVENUE, TORRANCE, CA

II. LOCATION MAPS





III

PROLOGIS PARK TORRANCE

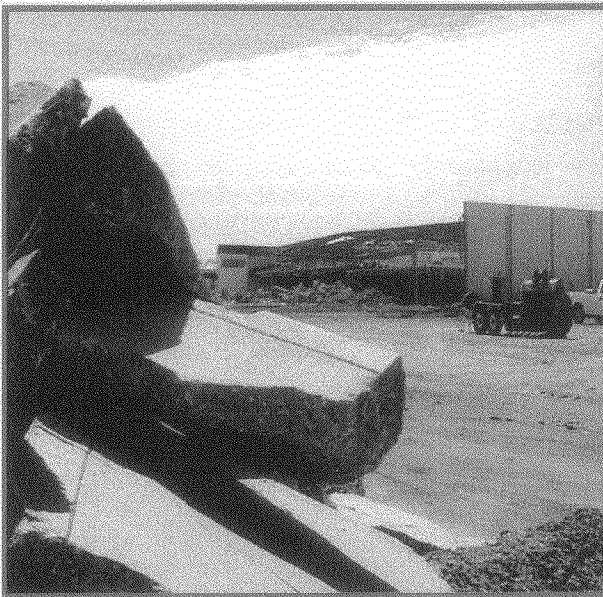
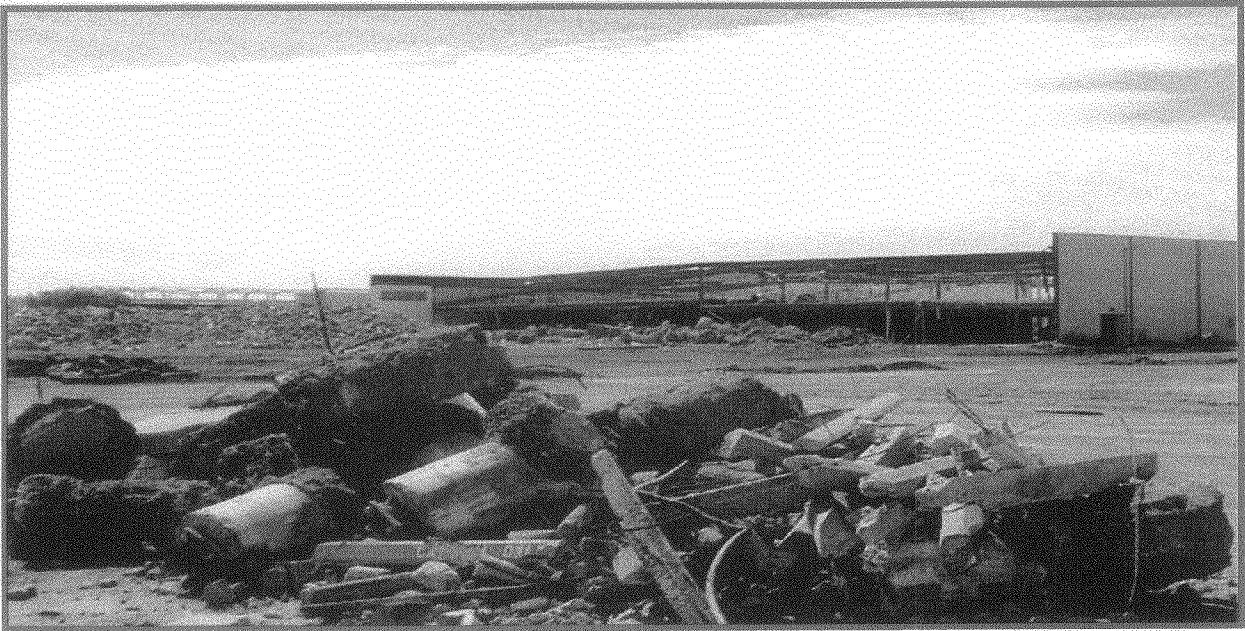
19600 - 19988 VAN NESS AVENUE, TORRANCE, CA

III. SITE PHOTOGRAPHS



Construction & Demolition Activities Commenced

ProLogis Park Torrance
1,084,192 sq. ft. Industrial Buildings for Lease

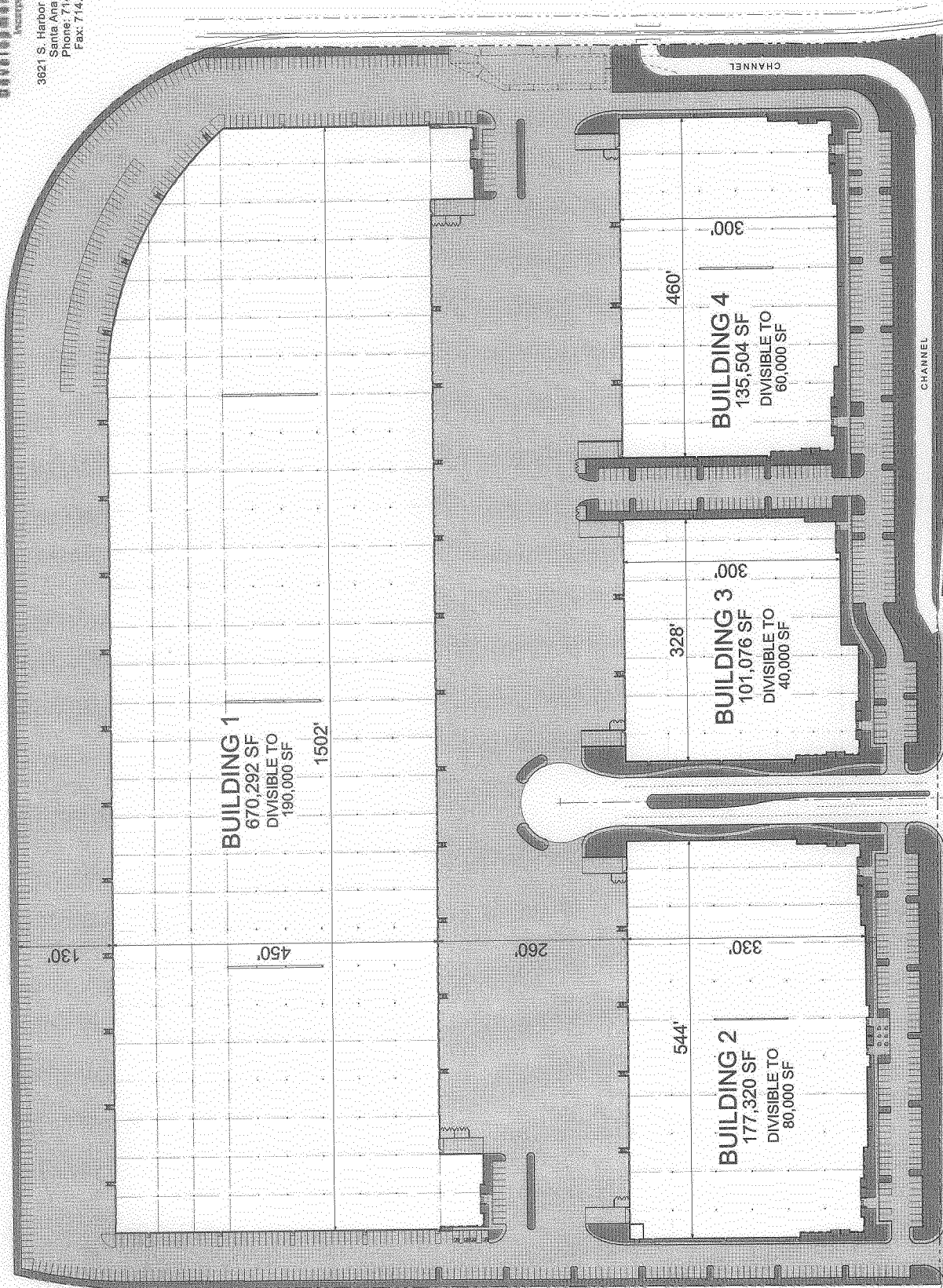


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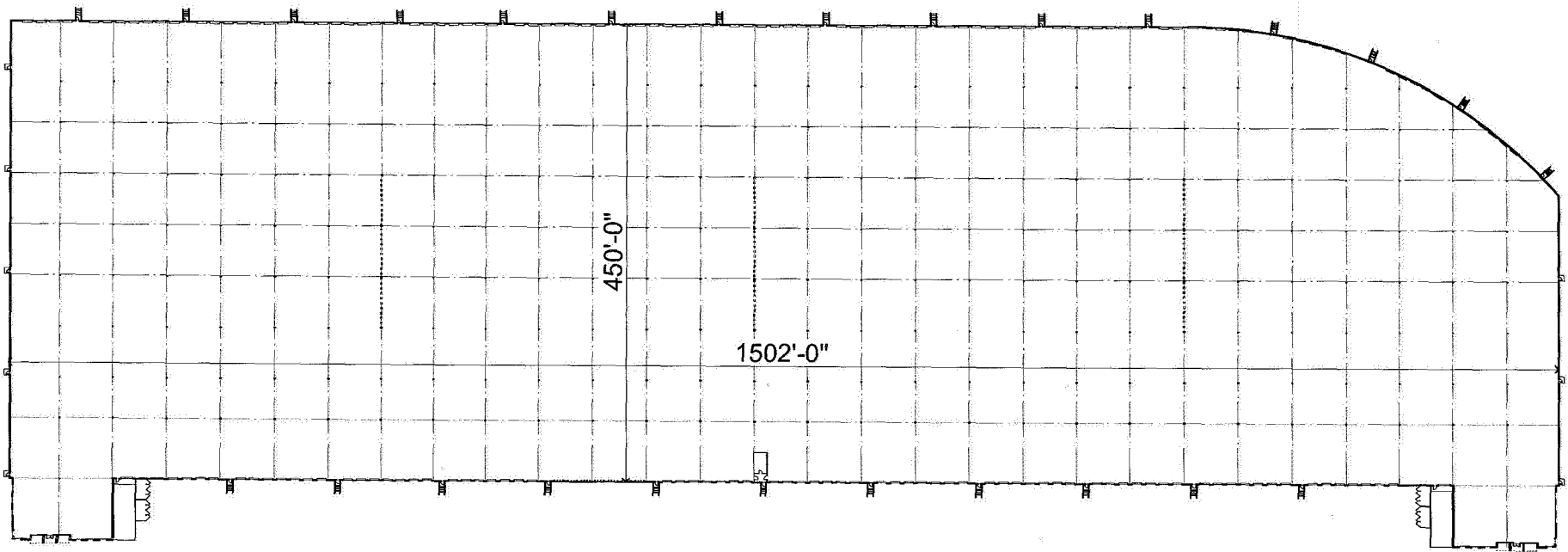
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IV. SITE PLAN, FLOOR PLANS & ELEVATIONS

PROLOGIS PARK TORRANCE



VAN NESS AVENUE



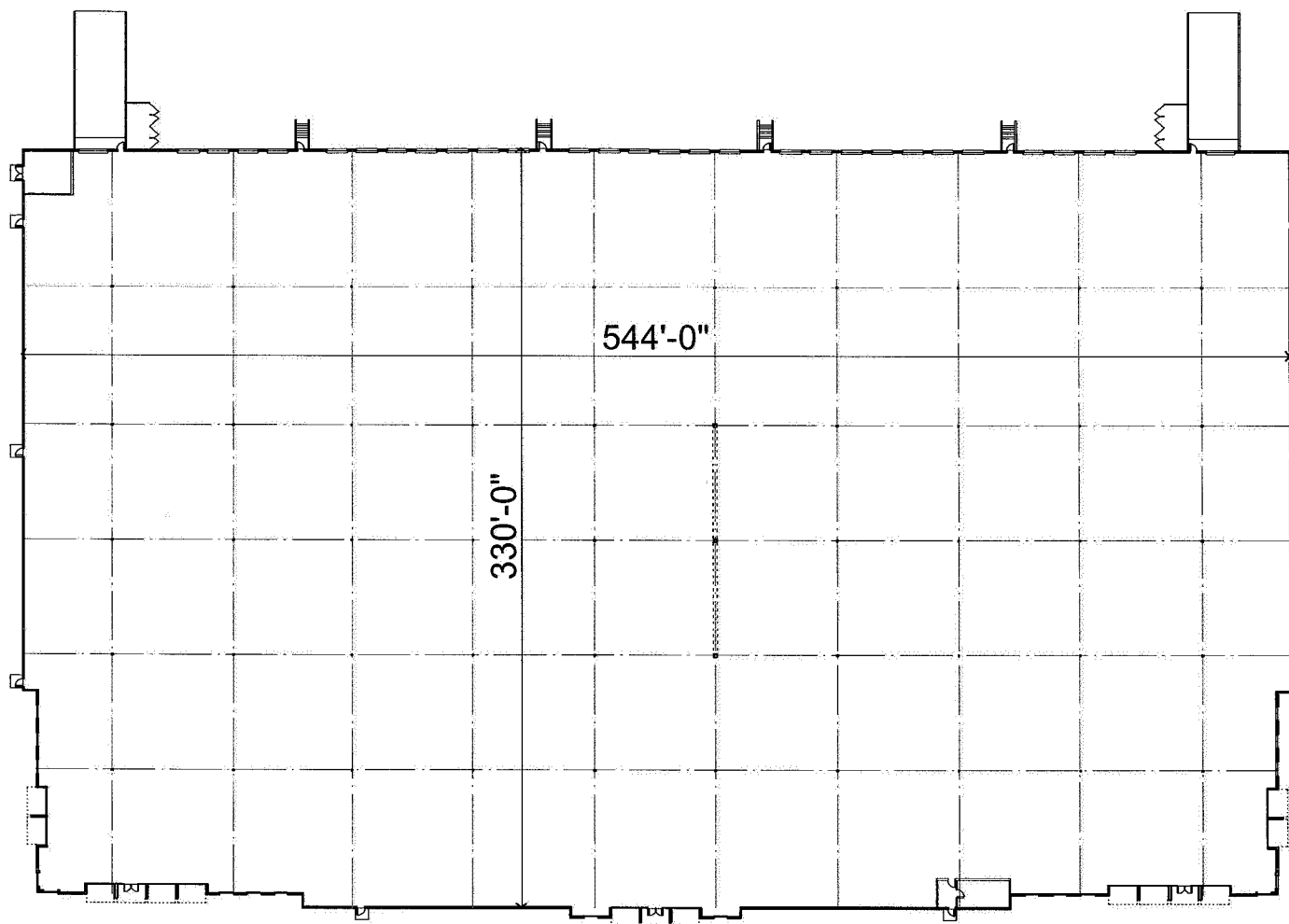
PROLOGIS PARK TORRANCE
BUILDING 1

670,292 SF



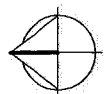
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Incorporated

3621 S. Harbor Bl., Suite 200
Santa Ana, CA 92704
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Fax: 714.428.0737

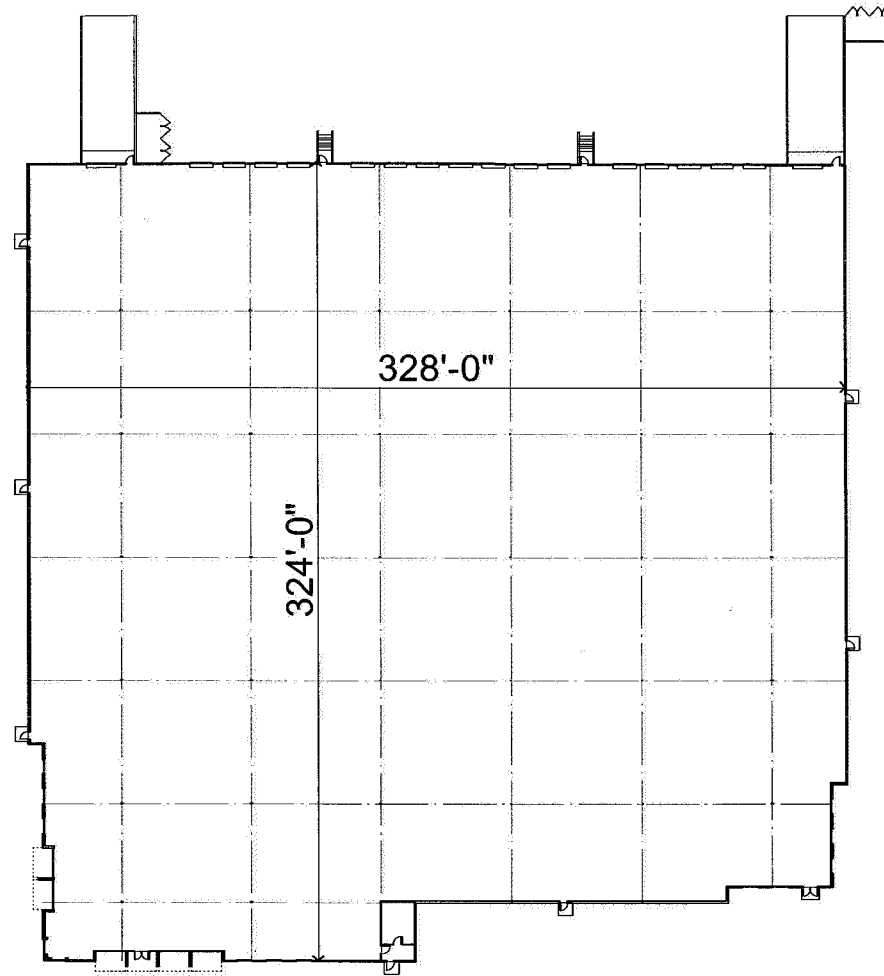


PROLOGIS PARK TORRANCE
BUILDING 2

177,320 SF



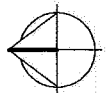
3621 S. Harbor Bl., Suite 200
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PROLOGIS PARK TORRANCE

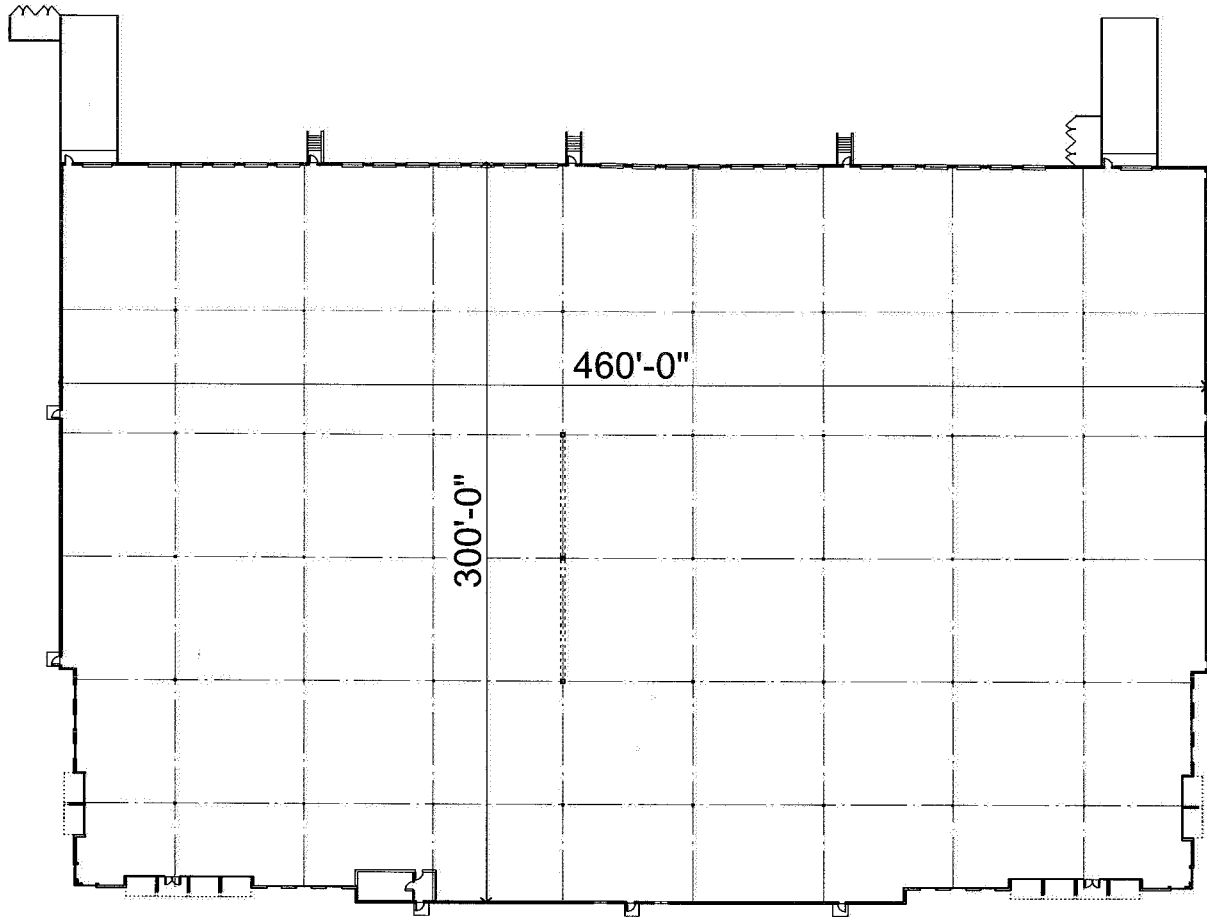
BUILDING 3

101,076 SF



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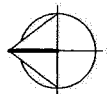


PROLOGIS PARK TORRANCE
BUILDING 4

135,504 SF



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KEYNOTES

1. PAINTED CONCRETE TILT-UP PANELS.
2. PAINTED REINFORCED AGGREGATE CONCRETE.
3. PAINTED 2" x 4" DOCK HIGH METAL PIERCE DOORS.
4. PAINTED 2" x 4" BR. GRAINTEE LEVEL METAL TRUCK DOORS.
5. GRAINTEE METAL, AGGREGATE METAL DOORS.
6. GRAINTEE PAINTED PANELS.
7. STRENGTHENED 2" x 4" DOCK SLAMING DOOR IN CLEAR AGGREGATE ALUMINUM 2" x 4" METAL UPPER CORNER SECTION.

PROLOGIS PARK TORRANCE
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TORRANCE, CALIFORNIA

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521 South Harbor Rd., Suite 200
Ft. Mill, SC 29504
716/626-0245
800/636-0737
Contact: Jim Jackson
JIM@CDSI.COM

GA Office of Architecture Design
100 Pine Avenue, Suite 110

562/901-2110 FAX/562/901-2160
PCNCTCT
VENUS Engineering
100 Valley View Avenue
Alhambra, CA 91803

744521-4317, 750190521-1151
VIL ENGINEER

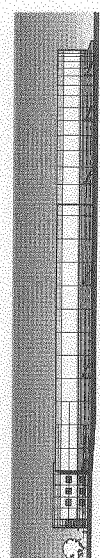
Bill Peterson, ASA
225 Walnut Hills Drive
Oakland, CA 94612
415/37-5195 FAX 415/37-3364

PROJECT NO:	660730
OWNED BY:	CREATED BY:
EXPIRATION DATE:	REVISION DATE:

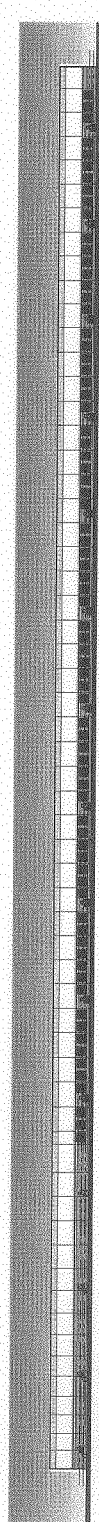
Principles

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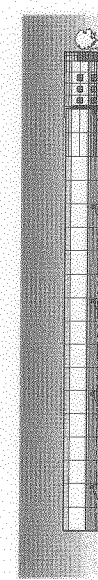
621 S. Harbor Bl.,
Santa Ana, CA 92701
Phone: 714.424.1800
Fax: 714.428.0737

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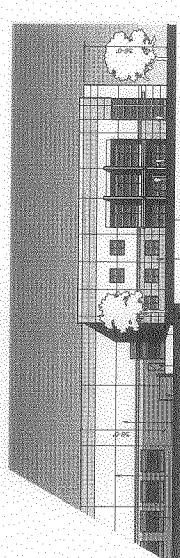
SOUTH ELEVATION BUILDING 1
SCALE 1" = 50'-0"



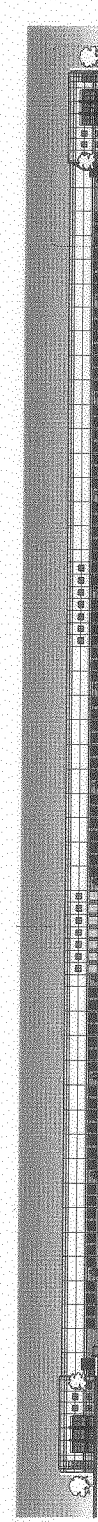
EAST ELEVATION BUILDING 1
SCALE: 1" = 50'-0"



NORTH ELEVATION BUILDING 1
SCALE: 1" = 50' 0"



PARTIAL WEST ELEVATION BUILDING 1
SCALE 1" = 20'-0"

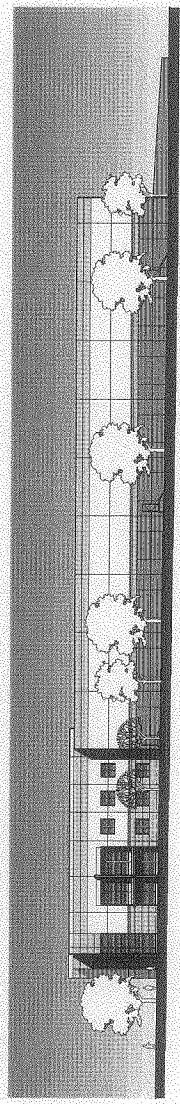


WEST ELEVATION BUILDING 1
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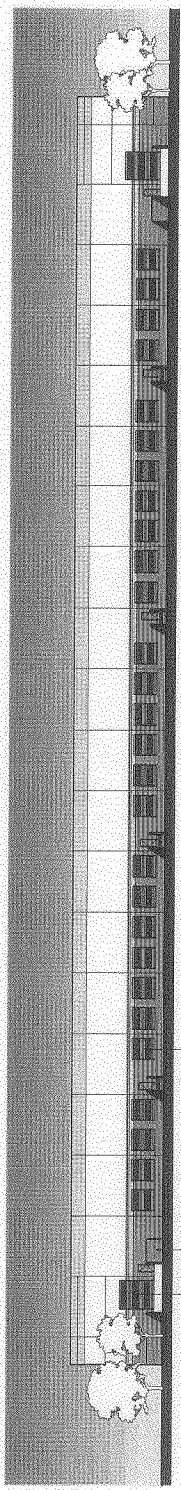
REVISIONS

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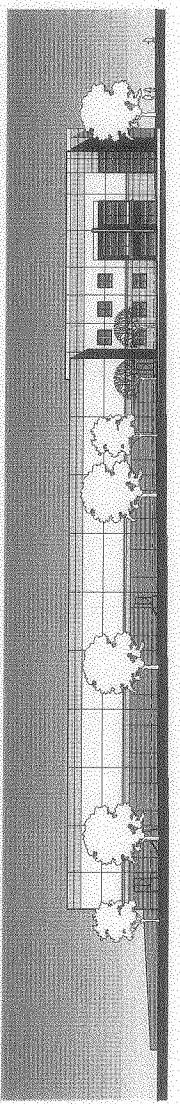
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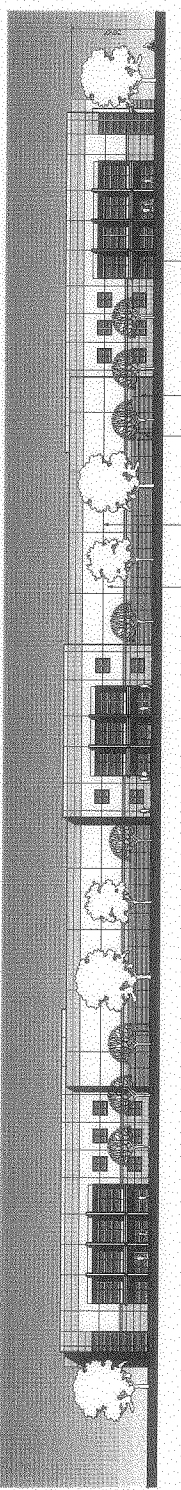
SOUTH ELEVATION BUILDING 2
SCALE 1/8" = 1'-0"



EAST ELEVATION BUILDING 2
SCALE 1/8" = 1'-0"



NORTH ELEVATION BUILDING 2
SCALE 1/8" = 1'-0"



WEST ELEVATION BUILDING 2
SCALE 1/8" = 1'-0"

PROLOGIS PARK TORRANCE
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Scott Peterson, Inc.
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This architectural drawing shows a side elevation of a building facade. A vertical grid system is overlaid on the drawing, with lines labeled 'A' through 'I' from left to right. The building features a series of windows and doors, some of which are highlighted with dark shading. Several stylized trees are placed along the facade, with their canopies aligned with the grid lines. The drawing is a black and white line art illustration.

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V

PROLOGIS PARK TORRANCE

19600 - 19988 VAN NESS AVENUE, TORRANCE, CA

V. DETAIL DESIGN CRITERIA

ProLogis Park Torrance

BUILDING DESIGN CRITERIA

New 1,084,192 S.F. Warehouse/Distribution Facilities
Located at:
19800-20250 Van Ness Avenue
Torrance, CA

Prepared for

OWNER/DEVELOPER:

ProLogis

Development Services, Inc.
3621 S. Harbor Blvd., Suite 200
Santa Ana, CA 92704
Tel: 714-424-1800
Fax: 714-428-0737

Prepared by:

RGA, Office of Architectural Design
110 Pine Avenue, Suite 710
Long Beach, CA 90802
562-901-2480
562-901-2482 fax

Project No. 99057.00
June 13, 2000

ProLogis Park Torrance
BUILDING DESIGN CRITERIA

Construction Type:

- A. III-N with a Fully Supervised .75 psi E.S.F.R. automatic fire sprinkler system
- B. 1997 Edition Uniform Building Code (UBC)
- C. 1997 Edition Uniform Fire Code (UFC)
- D. Occupancy: Office B (Future)
- E. Warehouse: S-1 High Piled Storage
- F. Area Justification: (4) yards at 60'-0" min. = Unlimited Area

Building Criteria: Building 1:670,292 sf

Building 2:177,320 sf

Building 3:101,076 sf

Building 4:135,504 sf

See Planning Site Plan Project Data for additional notes.

- A. Soil Report: Geotechnical Investigation as prepared by Kleinfelder.

Roof Framing:

- A. Clear Height
30'-0" min. at exterior walls
32'-0" minimum to underside of purlin truss inside first column line away from dock doors
- B. Hybrid Steel Truss Panelized Wood Roof Joist Load Design:
 - Steel Joist Dead Load = 12 P.S.F.
 - Steel Girder Dead Load = 14 P.S.F.
 - Steel Joist/Girder Live Load (Reducible) = 20 P.S.F.
- C. All structural steel trusses to be light gray primed painted by the truss manufacturer. All steel ledgers to be light gray primed painted to match the steel trusses.
- D. Add 3 p.s.f. over all office areas for suspended ceiling loads.
- E. Include additional loads for 4" diameter and larger sprinkler mains.
- F. All structural steel roof support columns to be a minimum of 8" x 8" square steel tube as directed by the Structural Engineer. The support columns to be light gray primed painted to match the steel roof trusses.

- H. Column spacing per Floor Plan.
- I. Allow for drag strut steel beams at re-entrant building corners for roof structure bid.
- J. Provide for "OSB" Moisture Inspection interior/exterior and gap distance by an inspector approved by the "OSB" manufacturer, prior to any roofing membrane installation.
- K. Provide for 1/2" minimum thick OSB roof sheathing diaphragm.
- L. All seismic metal straps to be designed below the roof diaphragm where possible.
- M. All roof diaphragm nails are to be galvanized screw shank.
- N. All sub-purlin hangers to be hot-dipped galvanized or Simpson z-max triple zinc coated.

Smokehatch/Skylights:

- A. Provide 2% total of building area with 48" x 96" mounted on wood curb. 360° degree fusible link to be **verified** by the Fire Sprinkler Design Build Contractor and City of Torrance Fire Department Requirements. General Contractor **must** verify with the Fire Dept. if exterior manual releases are required prior to ordering and installation.
- B. Provide burglar bars at all smokehatch/skylights.

Roofing:

- A. John Mansville four ply built-up composition roofing system UL Class 'A' fire rating, FM Class 1 fire resistance, and meet where applicable I-90 wind requirements. Provide built-up crickets (min. of three tapered cap sheet plies) at skylights to provide drainage around skylights, HVAC units or any other mechanical equipment mounted on roof.
- B. See attached Master Roofing Specification as prepared by CRC Consulting Group.
- C. Provide for continuous full time roofing inspection by CRC Consulting Group, Inc. (1805 E. Dyer Rd., Suite 110, Santa Ana, CA 92705, Attn: Duane Bouton, phone 949-261-5650, fax 949-261-5258).

Insulation:

- A. Warehouse: None.
- B. Future Office: As required by T-24 energy regulations at time of tenant improvements.

Concrete Floor Slab:

- A. Dock doors to be at 48" from finish floor to finish adjacent grade.
- B. 6-1/2" thick 4000 PSI at 28 days over 4" crushed base per Soils Report. Concrete design mix to allow for 1" maximum aggregate

size with Concrete slump to be 4" plus or minus 1". Use #3 bars @ 18" o.c. each way.

- C. Provide 10 mil visqueen vapor barrier under base at office portion of concrete slab per Soils Report requirements.
- D. Provide "burnished" floor finish throughout entire warehouse floor slab.
- E. Floor Flatness: $F_f = 50$
- F. Floor Levelness : $F_l = 35$
- G. Provide 3/4" diameter X 16" long smooth greased dowels spaced at 12" o.c. at all construction joints.
- H. G-2000 soft cut control joints must be 1" minimum depth immediately after finish troweling. (A soft cut Model 280 is not allowed.)
- I. Floor joint spacing to be 17'-4" maximum center-to-center.
- J. Floor slab to be wet cured with "Burlene" or "Transguard" blankets for a minimum period of 7-days.
- K. Sub-grade compaction under floor slab to be in accordance with the soils report.
- L. Entire warehouse floor slab to receive "Lapidolith", "Shur Seal", or "Ashford Formula" penetrating clear sealer, installed per manufacturer's specifications.
- M. All construction markings must be removed prior to sealing concrete. (No permanent grease pen panel marks on the floor slab.)
- N. No "Ready Mix" trucks will be permitted to drive or operate on any portion of the building floor slab. A maximum of an 8 cubic yard "Ready Mix" truck may be allowed on the floor slab for perimeter closure strip concrete placement.
- O. All equipment used on the floor slab during the construction phase of work shall be properly protected (diapered) to prohibit oils from leaking on the floor slab.
- P. All foundations to be a minimum of 2,500 psi or greater concrete reinforced per Structural Engineer's requirements.
- Q. Provide alternate to fill all construction joints and control joints with semi-rigid epoxy joint filler; MM-80 or an approved equal (in writing by the Architect).
- R. Provide 10'-0" wide perimeter floor pour strips at all truck dock walls and minimum 36" wide all other walls, unless noted otherwise on structural drawings.
- S. No crane on slab.
- T. Clean out saw cut joints at end of project
- U. All floor slab nail or brace frame holes filled with approved 2 part epoxy compound to match concrete color. Pega Bond LV 2000, Burke Epoxy Injection Resin or equal.
- V. All floor slab panel form nail holes to be predrilled and wood doweled prior to nailing. Brace holes to be predrilled.

Preferred method of chamfer layout is with high strength spray adhesive.

- W. Diamond control joints at all columns.

Concrete Wall Panels:

- A. Chamfer and reveal strips attached to floor slab must be properly patched prior to sealing floor slab.
- B. Concrete Panels: Panel thickness, reinforcing, and concrete psi as determined by Structural Engineer.
- C. All wall panels are to be tied with rebar into floor slab as determined by the Structural Engineer.
- D. All concrete tilt-up wall panels must be lifted from building exterior where possible. **No cranes are allowed on floor slab for wall panel erection.**
- E. Properly sack all wall lift point pockets once walls have been erected.

Truck Apron at Loading Docks:

- A. 7" thick 3000 psi concrete design mix over 4" crushed base per soils report. The control and construction joint spacing to be a maximum of 15'-0" center-to-center. Provide 3/4" diameter x 16" long smooth dowels spaced at 12" o.c. at all construction joints. The area shall be the per the Site Plan.
- B. Sub-grade compaction under floor slab to be in accordance with the soils report.

Site Paving:

- A. Refer to attached LaBelle-Marvin Project Specifications and Soils Report.
- B. *Parking Stalls:* Traffic Index of: 4 (see Project Soils Report)
- C. *Private Drive:* Traffic Index of: 8 (see Project Soils Report)
- D. *Truck Drive Aisles:* Traffic Index of: 7 (see Project Soils Report)
- E. *Non-Truck Circulation Areas:* Traffic Index of: 5.5
- F. *Truck Court:* Traffic Index of: 7

Glazing:

- A. All exterior glazing to be high performance Green Reflective Glass set in front glazed clear anodized aluminum system. Systems to be wet sealed and designed for 90 M.P.H. minimum wind loads or latest adopted edition of the U.B.C., (see Exterior Elevations).

Electrical:

- A. The electrical service is to be as follows at each building:

- B. Building 1: 4000-amp underground pull section with provisions to add (4) 1200 amp meter/main sections.
- C. Building 3: 1600-amp underground pull section with provisions to add (4) 1200 amp meter/main sections.
- D. Building 2 & 4: 2000-amp underground pull section with provisions to add (4) 1200 amp meter/main sections.
- E. 800 amp 277/480V. house panel for exterior lighting and 120/208 transformer and panel for landscape irrigation controller and fire alarm.
- F. Parking lot lighting to be HPS wall mounted (shoebox type) and steel pole mounted (shoebox type) fixtures (photo cell on and time clock off). Lighting to be 1/2 foot-candle minimum with one foot-candle average in all parking lot areas or per City of Torrance Requirements.
- G. Provide for emergency exit lighting for building as required by the latest edition of the Uniform Building Code.
- H. Provide exterior soffit lights at exterior building entry soffits.
- I. Provide electrical hook up for landscape irrigation controller.
- J. Emergency lighting and required exit lighting to meet Uniform Building Code, N.F.P.A. and Uniform Fire Code editions currently enforced by the governing agencies.
- K. Stub in phone service and provide required telephone backboard(s).
- L. Provide for electric/telephone room accessible by SCE from exterior of building. Room size to be determined by electrical design-build contractor.
- M. Electrical conduit to all fire PIV's and detector checks for fire monitoring.
- N. Electrical gear by RSE Sierra Only.
- O. No electrical conduits under slab without specific approval.

Mechanical:

- A. Warehouse: Natural ventilation through vented skylights according to ASHRAE standards.
- B. Office: Future factory curb rooftop mounted HVAC.

Plumbing:

- A. Provide sewer to each building. Locations to be determined.
- B. Stub water service to same locations as sewer stubs.
- C. Provide interior roof drains with overflow scuppers typical except at office locations, use roof drains and overflow roof drains. Size for minimum 6" per hour rainfall per 1997 UPC.
- D. Stub gas to the building - to be determined.
- E. When required by the City of Torrance, provide required monitoring manhole(s).

- F. Provide domestic water service(s) to accommodate flush valve toilets.
- G. Provide required landscape irrigation water meter(s) as required.

Roof Access:

- A. Provide (1) roof access ladder to meet OSHA Requirements (located adjacent to Electrical Room).
- B. Provide (1) 36" x 36" Bristolite roof access hatch with locking device.

Landscape and Irrigation:

- A. Landscape and Irrigation to meet the City of Torrance Standards.
- B. Provide hose bibs at main entries and trash enclosures/bins/trash compactors.
- C. All irrigation systems to be automatic and meet City of Torrance Requirements.
- D. Provide separate water meter(s) for landscape irrigation.
- E. Provide bubbler or underground irrigation where glazing is adjacent to the grade.
- F. Irrigation heads to be (1) foot behind curbs at parking stalls.

Dock Equipment:

- A. Provide 2" x 2" x ¼" steel angle at dock sill, and steel channel jamb guards 5' high A.F.F.
- B. Provide (2) 4" thick x 10" x 24" rubber dock bumpers at all dock high loading doors.
- C. Provide 4' high "Z" bar dock door track protector with (3) 2 ½" min. depth expansion bolt panel connections.

Overhead Doors:

- A. Manufacturer:
 - Clopay Co., Model 624
 - Overhead Door Corp., Model 424
 - Northwest Door, Inc., Model 924
- B. Design:
 - 1. Vertical Lift Sectional Doors shall be steel sectional overhead type. Each door provided as one complete unit including section, brackets, tracks, counter-balance (Torsion) and hardware.
 - 2. Door manufacturer shall confirm with governing agencies that doors will meet all security ordinances.
 - 3. Operation is to be manual for 9'-0" wide X 10'-0" high dock doors and reduced chain drive hoists with chain operable from 3'-0" above finish floor for doors 12'-0" wide X 14'-0" high

and larger. Provide track or wall mounted chain locks. See Door Schedule for location and sizes.

4. When electric operation is specified, use high lift track (jackshaft opener).

C. Materials: (Sectional Doors)

1. Sections shall be minimum 2" thick roll formed 20 GA (.022") steel, hot dipped galvanized G-60 per ASTM A-924, A-653, phosphate coated prepainted with primer and baked on white polyester top coat. End stiles to wrap face of section full 1-3/8". Minimum 18 GA end stiles up to 14'-2", over 14'-2", 16 GA minimum. Bottom section reinforced with full length aluminum or galvanized steel astragal retainer. Astragal to be flexible PVC vinyl to form seal at floor. Polyurethane foam strips applied to end stiles to stop air and light infiltration. Provide heavy duty step plate at bottom section for final closure. Door sections to be 3" larger than opening width dimension.
2. Hardware: All hinges and brackets to be hot-dipped galvanized steel, 14 GA minimum. Ten ball steel rollers with case hardened steel races.
3. Tracks: Vertical tracks to be minimum 16 GA galvanized steel tapered and mounted for wedgetype closing. Horizontal tracks where required to be minimum 14 GA galvanized steel, reinforced with minimum 13 GA galvanized angles as required by manufacturer. Three inch tracks where recommended to be 12 GA (Angle Mounted).
4. Spring counter-balance: Door assembly to be operated by a torsion spring counter-balance mechanism with helically wound, oil tempered torsion springs (two or more as required) high cycle (50,000 cycles) mounted on a galvanized steel tube or solid steel shaft as required by size, weight, and cycle requirements. Cable drums are die cast aluminum with 7 to 1 safety factor galvanized aircraft cable.
5. Locking shall be spring loaded inside slide lock each side of door mounted to end stile, 4'-0" above finish floor.
6. Provide vision lights approximately 5" X 20" with type D neoprene gasket seal and tempered glass. Install at 5'-0" A.F.F.
7. All doors shall have long stem 3" rollers at each of four corners with 3" track.

D. All overhead doors to be vertical lift sectional type, 9'-0" wide X 10' high dock doors and 12' wide X 14' grade level doors.

E. Doors to be factory painted white.

F. Installation:

1. Inspect all door openings to ascertain that proper installation can proceed.
2. Doors shall be erected by a licensed contractor in strict accordance with factory instructions and be journeymen experienced in this type of work with a minimum of 5 years of

selling, installing and servicing these types of overhead doors with an adequate supply of parts.

3. Furnish all inserts and sleeve anchor devices, which may be set in concrete for the installation of the doors. Do not use shot pins. Provide setting drawings, templates, instruction, and directions for installation of anchorage devices. Coordinate delivery with other work to avoid delay.
4. Wind loading shall meet 90 mph, Exposure 'C' requirements for doors and rail attachment.
5. Doors shall be tested for proper operation, and shall operate smoothly without binding or excessive closing or opening speed.

Painting:

- A. Exterior: 2-coats acrylic flat, roll on primer; spray on finish coat. Prime all curbs to receive paint.
- B. Interior Structural Columns: Factory prime to match roof truss color.
- C. Touch-Up: Provide paint touch-up at all field welded connections

Exterior Doors:

- A. 1 3/4" hollow metal doors. Self-closing where applicable to meet City Security Requirements. Provide heavy duty spring chain for 90° opening.
- B. Entry doors to be aluminum frame tempered glass with chrome push/pull bars (self-closing) designed for 90 mph wind load. Provide a full "Roton" hinge at each door. (Less active door to be anchored to floor and head.)

Interior Doors: (Electrical Room)

- A. 1 3/4" thick solid core 3' wide x 7' high Strand Oak by 'Door Craft' doors with 'Timely' Metal Door Frames.

Hardware:

- A. 'Schlage' extra heavy duty commercial grade, ('D' Series) lever type handles to meet accessibility requirements with brush chrome finish for interior doors. Use ('L' Series) 06 design for exterior metal doors.

Exterior Soffits:

- A. As noted on drawings.

Office Finishes: NA

Millwork: NA

Public Sidewalks:

- A. As required per City of Torrance Engineering Department

Fire Sprinklers:

- A. 75 psi E.S.F.R. system, 200° heads. Fire mains and branch lines to run up inside roof trusses.
- B. All fire systems must be 100% complete with all required fire hydrants, piv's, bells, fire loops approved by City of Torrance Fire Department, and the 1997 Edition of the Uniform Fire Code.
- C. Provide fire extinguisher(s) per Fire Department Requirements.

Sheet Metal Draft Curtains:

- A. At system breaks only when required by Torrance Building & Fire Departments.

Pipe Bollard Protection:

- A. Provide pipe bollards 2500 psi concrete filled at the minimum following locations:
 - 1. At fire riser locations, exposed PIV's
 - 2. Fire hydrants
 - 3. SCE transformers

Exclusions:

- A. Storage rack systems.
- B. In-Rack Fire Sprinkler Systems
- C. Aisle striping inside building.
- D. Telephone systems, PA systems, and computer wiring (unless required by the Torrance Fire and/or Police Department(s)).
- E. Fire Hose cabinets

PROLOGIS PARK TORRANCE

19600 - 19988 VAN NESS AVENUE, TORRANCE, CA

VI. AMERICAN INDUSTRIAL REAL ESTATE BROCHURES



INDUSTRIAL FOR LEASE

AVAIL. SF: 670,292

TOTAL BLDG. SF: 670,292



ProLogis Park Torrance

ADDRESS 19800 VAN NESS AV , BLDG #1, TORRANCE ZIP 90501

PROLOGIS PARK TORRANCE
NEW INDUSTRIAL BUSINESS PARK
CROSS DOCK - 30' CLEARANCE - ESFR FIRE SPRINKLERS
IMMEDIATE ACCESS TO 405 FREEWAY
CLOSE PROXIMITY TO 91, 105 & 110 FRWYS
ONLY MINUTES TO LAX AND PORTS OF LA & LONG BEACH

LEASE RENTAL \$ TBD /mo Gross Net Term 5-10 YEARS
 SALE PRICE\$ NFS Price/SF \$ 0.00 Tax \$ 418,550 Yr 2000 - 2001
 Terms Possession CB
 Avail SF 670,292 Dim 1502 X 450 Power A 4,000 V 277-480 Ø 3 W 4
 Min. SF 200,000 Dim 444 X 450 Lighting MTLHL Heat NONE Cooling NONE PWR Notes EXPANDABLE
 Land SF POL Dim Trk Hi Pos 176 Dim 9X10 EXTERNAL EQ Zone N
 Const CTU Roof STT Grd Lev Drs 2 Dim 12X15 RAMPS Dock Y Well N
 Foil N Sklts Y Rail PSBL Storage Mezz SF BTS Incl in Avail SF N Rest Rms: M BTS W BTS
 Sprkd ESFR Min Clr Hgt 30 OFFICE DATA Ofc SF BTS # BTS Rest Rms: M BTS W BTS
 Pkg 543 Fenced N Yr Blt 2001 A/C Y Heat Y Finished Ofc Mezz SF BTS Incl in Avail SF N
 Thomas Bk Pg# 763H4 Zone M2 To Show Open - UNDER CONSTRUCTION Sp. Feat. PARK
 AGENT Brett A Tremaine (562) 699-7500 x210 Region S Listing # 1000435
 FIRM Lee & Associates 06/02/00R
 FTCF CB300Y150S000/OAA Notes *TAXES ESTIMATED, ACTUAL POWER TO SUIT, POWER EXPANDABLE, FULL ESFR
 FIRE SPRINKLER SYSTEM W/PUMP. 2.5% SKYLIGHTS. FENCING POSSIBLE, RAIL POSSIBLE.

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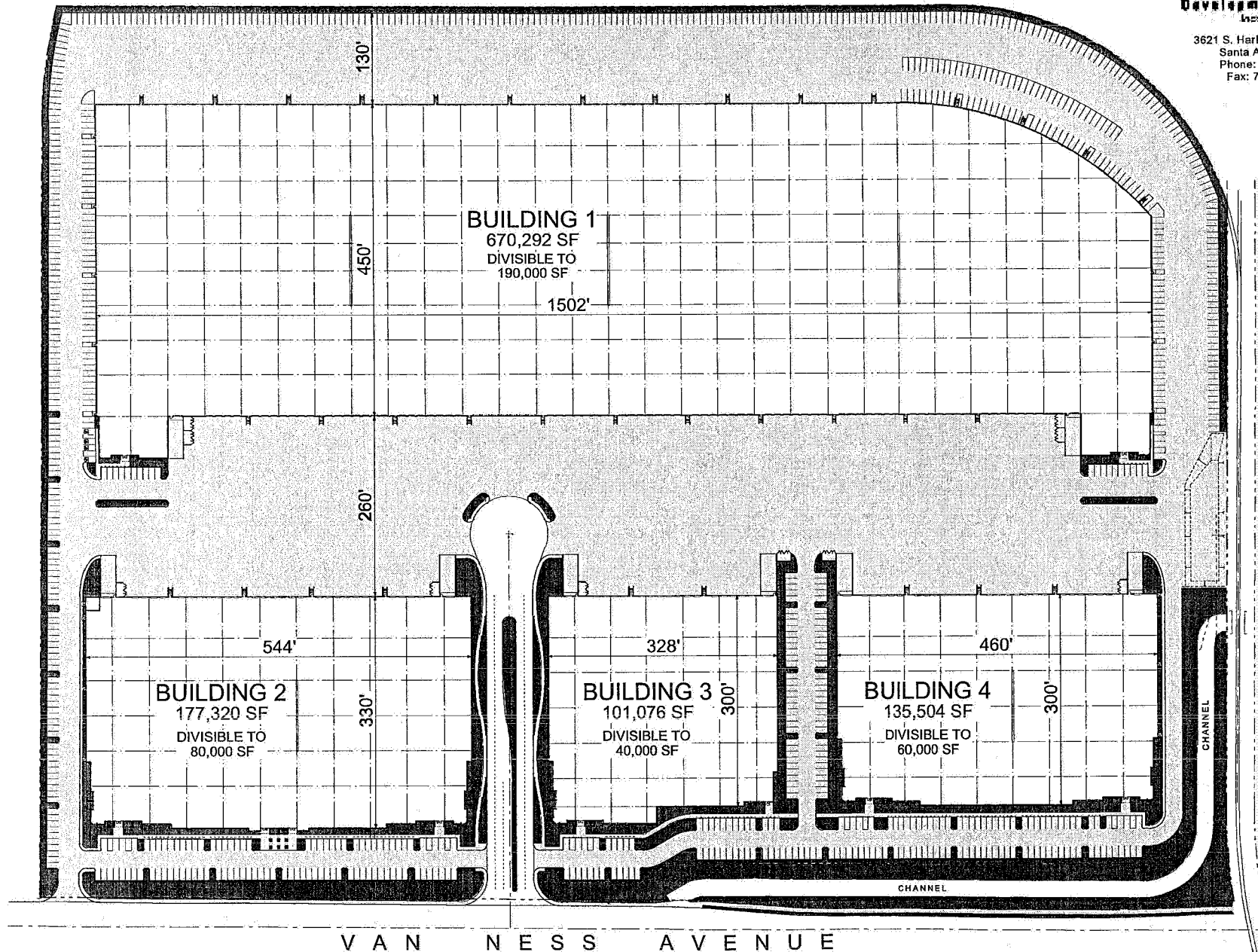
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PROLOGIS PARK TORRANCE



3621 S. Harbor Blvd., Suite 200
Santa Ana, CA 92704
Phone: 714.424.1800
Fax: 714.428.0737



BOE-C6-0063922

INDUSTRIAL FOR LEASE

AVAIL. SF: 177,320

TOTAL BLDG. SF: 177,320



ProLogis Park Torrance

ADDRESS 19800 VAN NESS AV , BLDG #2, TORRANCE ZIP 90501

PROLOGIS PARK TORRANCE
NEW INDUSTRIAL BUSINESS PARK
30' CLEARANCE - ESFR FIRE SPRINKLERS
IMMEDIATE ACCESS TO 405 FREEWAY
CLOSE PROXIMITY TO 91, 105 & 110 FRWYS
ONLY MINUTES TO LAX AND PORTS OF LA & LONG BEACH

LEASE RENTAL \$ TBD /mo Gross Net Term 5-10 YEARS
 SALE PRICE\$ NFS Price/SF \$ 0.00 Tax \$ 110,850 Yr 2000 - 2001
 Terms Possession CB
 Avail SF 177,320 Dim 330 X 544 Power A 1,600 V 277-480 Ø 3 W 4
 Min. SF 80,000 Dim 330 X 242 Lighting MTLHL Heat NONE Cooling NONE PWR Notes EXPANDABLE
 Land SF POL Dim Trk Hi Pos 28 Dim 9X10 EXTERNAL EQ Zone N
 Const CTU Roof STT Grd Lev Drs 2 Dim 12X15 RAMPS Dock Y Well N
 Foil N Sklts Y Rail NONE Storage Mezz SF BTS Incl in Avail SF N Rest Rms: M BTS W BTS
 Sprkd ESFR Min Clr Hgt 30 OFFICE DATA Ofc SF BTS # BTS Rest Rms: M BTS W BTS
 Pkg 144 Fenced N Yr Blt 2001 A/C Y Heat Y Finished Ofc Mezz SF BTS Incl in Avail SF N
 Thomas Bk Pg# 763H4 Zone M2 To Show Open - UNDER CONSTRUCTION Sp. Feat. PARK
 AGENT Brett A Tremaine (562) 699-7500 x210 Region S Listing # 1000427
 FIRM Lee & Associates 06/02/00R
 FTCF CB300Y150S000/OAA Notes *TAXES ESTIMATED, ACTUAL POWER TO SUIT, POWER EXPANDABLE, FULL ESFR
FIRE SPRINKLER SYSTEM W/PUMP. 2.5% SKYLIGHTS. FENCING POSSIBLE.

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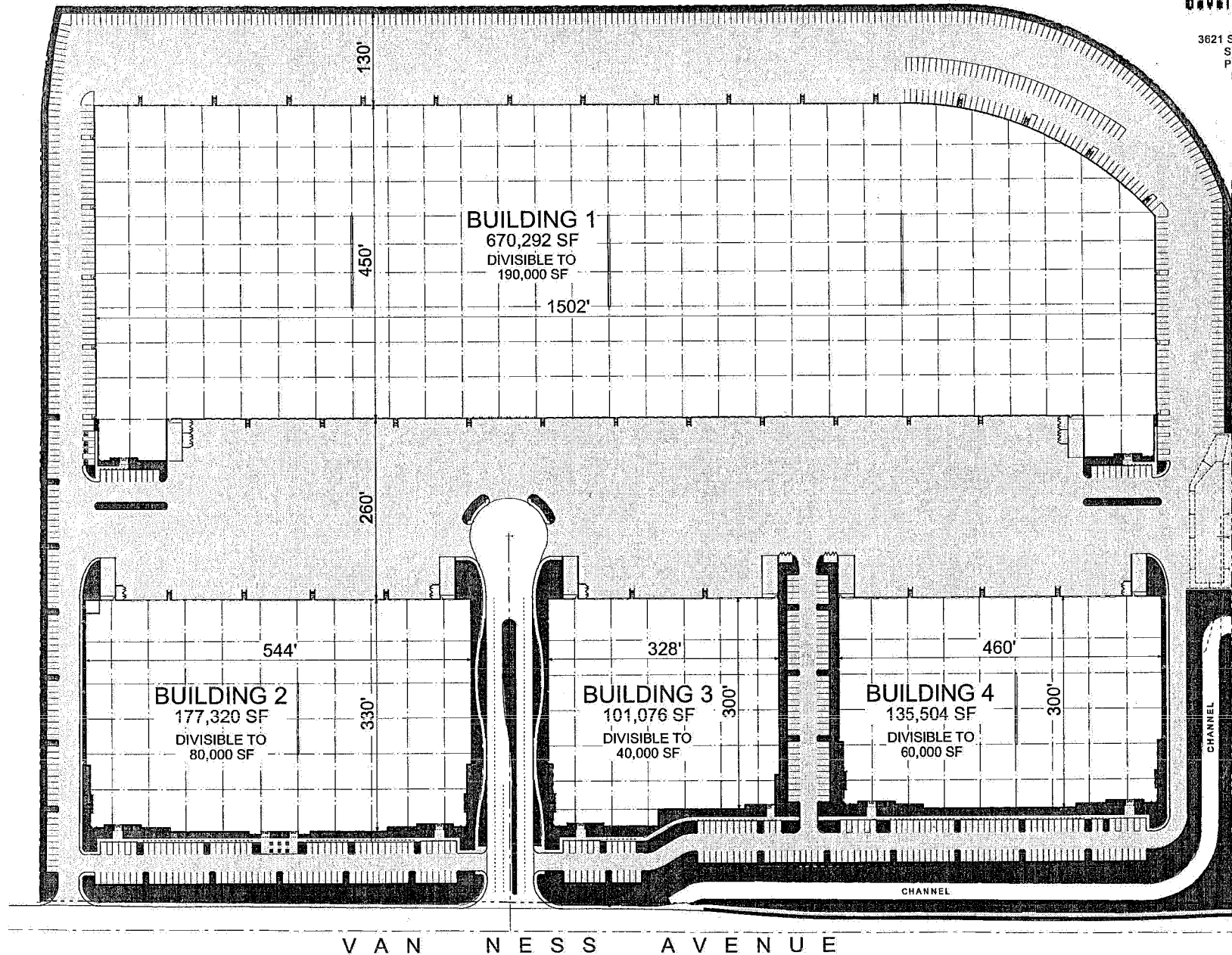
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PROLOGIS PARK TORRANCE



3621 S. Harbor Blvd., Suite 200
Santa Ana, CA 92704
Phone: 714.424.1800
Fax: 714.428.0737



INDUSTRIAL FOR LEASE

AVAIL. SF: 101,076

TOTAL BLDG. SF: 101,076



ADDRESS 19800 VAN NESS AV , BLDG #3, TORRANCE ZIP 90501

PROLOGIS PARK TORRANCE
NEW INDUSTRIAL BUSINESS PARK
30' CLEARANCE - ESFR FIRE SPRINKLERS
IMMEDIATE ACCESS TO 405 FREEWAY
CLOSE PROXIMITY TO 91, 105 & 110 FRWYS
ONLY MINUTES TO LAX AND PORTS OF LA & LONG BEACH

LEASE RENTAL \$ TBD /mo Gross Net Term 5-10 YEARS
 SALE PRICES NFS Price/SF \$ Tax \$ 63,150 Yr 2000 - 2001
 Terms Possession CB
 Avail SF 101,076 Dim 300 X 328 Power A 1,600 V 277-480 Ø 3 W 4
 Min. SF 40,000 Dim 300 X 133 Lighting MTLHL Heat NONE Cooling NONE PWR Notes EXPANDABLE
 Land SF POL Dim Trk Hi Pos 16 Dim 9X10 EXTERNAL EQ Zone N
 Const CTU Roof STT Grd Lev Drs 2 Dim 12X15 RAMPS Dock Y Well N
 Foil N Sklts Y Rail NONE Storage Mezz SF BTS Incl in Avail SF N Rest Rms: M BTS W BTS
 Sprkd ESFR Min Clr Hgt 30 OFFICE DATA Ofc SF BTS # BTS Rest Rms: M BTS W BTS
 Pkg 82 Fenced N Yr Blt 2001 A/C Y Heat Y Finished Ofc Mezz SF BTS Incl in Avail SF N
 Thomas Bk Pg# 763H4 Zone M2 To Show Open - UNDER CONSTRUCTION Sp. Feat. PARK
 AGENT Brett A Tremaine (562) 699-7500 x210 Region S Listing # 1000430
 FIRM Lee & Associates 04/28/00
 FTCF CB300Y150S000/OAA Notes *TAXES ESTIMATED, ACTUAL POWER TO SUIT, POWER EXPANDABLE, FULL ESFR
 FIRE SPRINKLER SYSTEM W/PUMP. 2.5% SKYLIGHTS. FENCING POSSIBLE.

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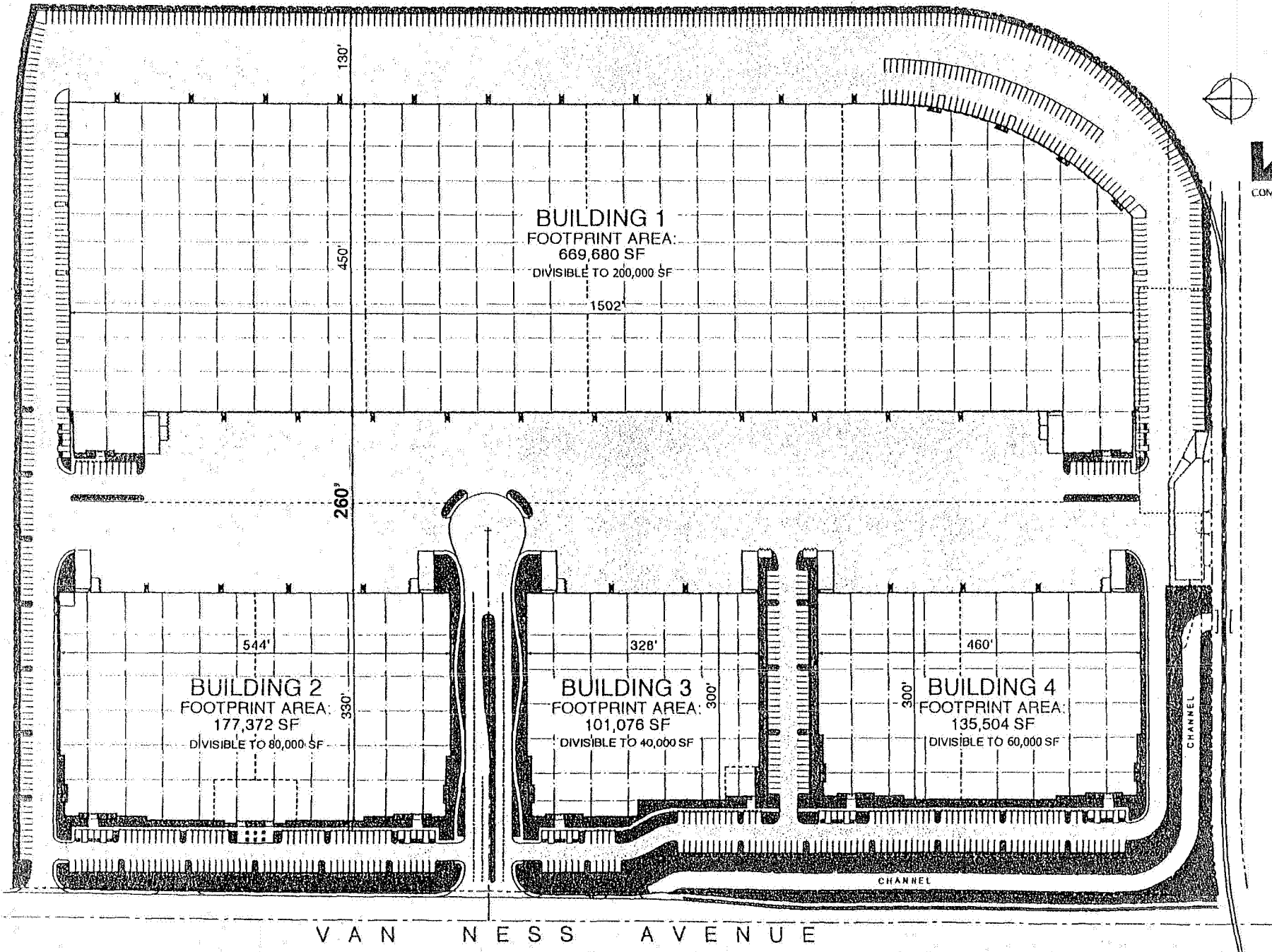


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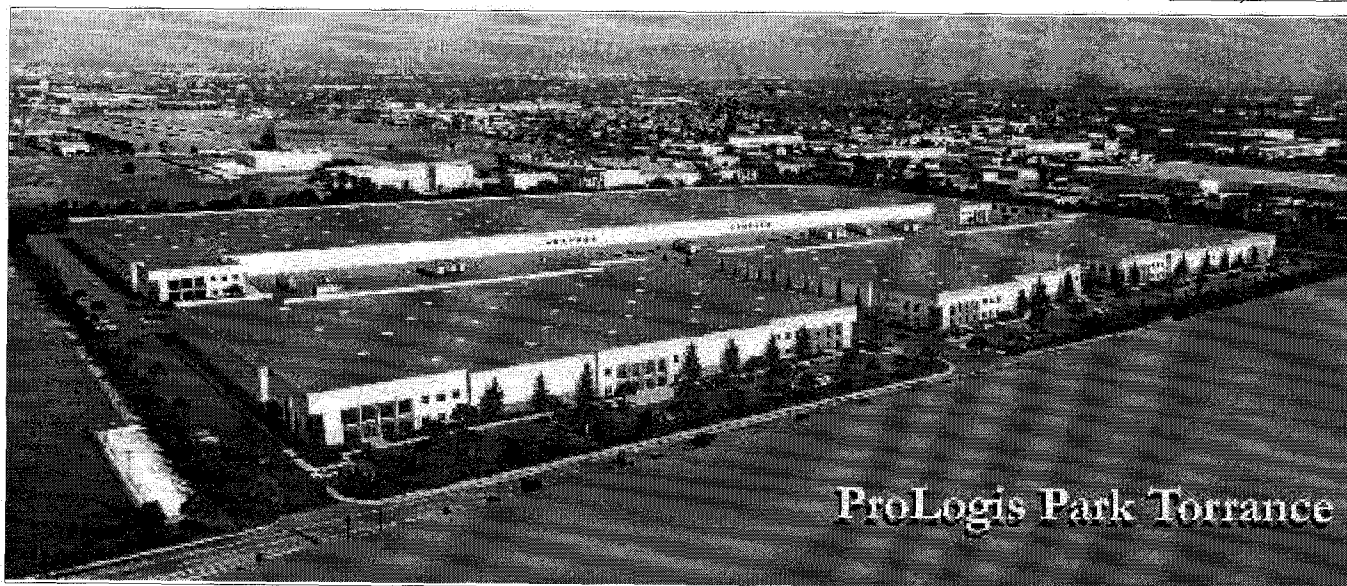
PROLOGIS PARK TORRANCE



INDUSTRIAL FOR LEASE

AVAIL. SF: **135,504**

TOTAL BLDG. SF: **135,504**



ProLogis Park Torrance

ADDRESS **19800 VAN NESS AV , BLDG #4, TORRANCE** ZIP **90501**

**PROLOGIS PARK TORRANCE
NEW INDUSTRIAL BUSINESS PARK
30' CLEARANCE - ESFR FIRE SPRINKLERS
IMMEDIATE ACCESS TO 405 FREEWAY
CLOSE PROXIMITY TO 91, 105 & 110 FRWYS
ONLY MINUTES TO LAX AND PORTS OF LA & LONG BEACH**

LEASE RENTAL \$ **TBD** /mo Gross Net Term **5-10 YEARS**
 SALE PRICE\$ **NFS** Price/SF \$ Tax \$ **84,690** Yr **2000 - 2001**
 Terms Possession **CB**
 Avail SF **135,504** Dim **460 X 300** Power A **1,600** V **277-480** Ø **3** W **4**
 Min. SF **60,000** Dim **200 X 300** Lighting **MTLHL** Heat **NONE** Cooling **NONE** PWR Notes **EXPANDABLE**
 Land SF **POL** Dim Trk Hi Pos **26** Dim **9X10 EXTERNAL** EQ Zone **N**
 Const **CTU** Roof **STT** Grd Lev Drs **2** Dim **12X15 RAMPS** Dock **N** Well **N**
 Foil **N** Sklts **Y** Rail **NONE** Storage Mezz SF **BTS** Incl in Avail SF **N** Rest Rms: M **BTS** W **BTS**
 Sprkd **ESFR** Min Clr Hgt **30** OFFICE DATA Ofc SF **BTS** # **BTS** Rest Rms: M **BTS** W **BTS**
 Pkg **110** Fenced **N** Yr Blt **2001** A/C **Y** Heat **Y** Finished Ofc Mezz SF **BTS** Incl in Avail SF **N**
 Thomas Bk Pg# **763H4** Zone **M2** To Show **Open - UNDER CONSTRUCTION** Sp. Feat. **PARK**
 AGENT **Brett A Tremaine (562) 699-7500 x210** Region **S** Listing # **1000431**
 FIRM **Lee & Associates** **04/28/00**
 FTFC **CB300Y150S000/OAA** Notes ***TAXES ESTIMATED, ACTUAL POWER TO SUIT, POWER EXPANDABLE, FULL ESFR**
FIRE SPRINKLER SYSTEM W/PUMP. 2.5% SKYLIGHTS. FENCING POSSIBLE.

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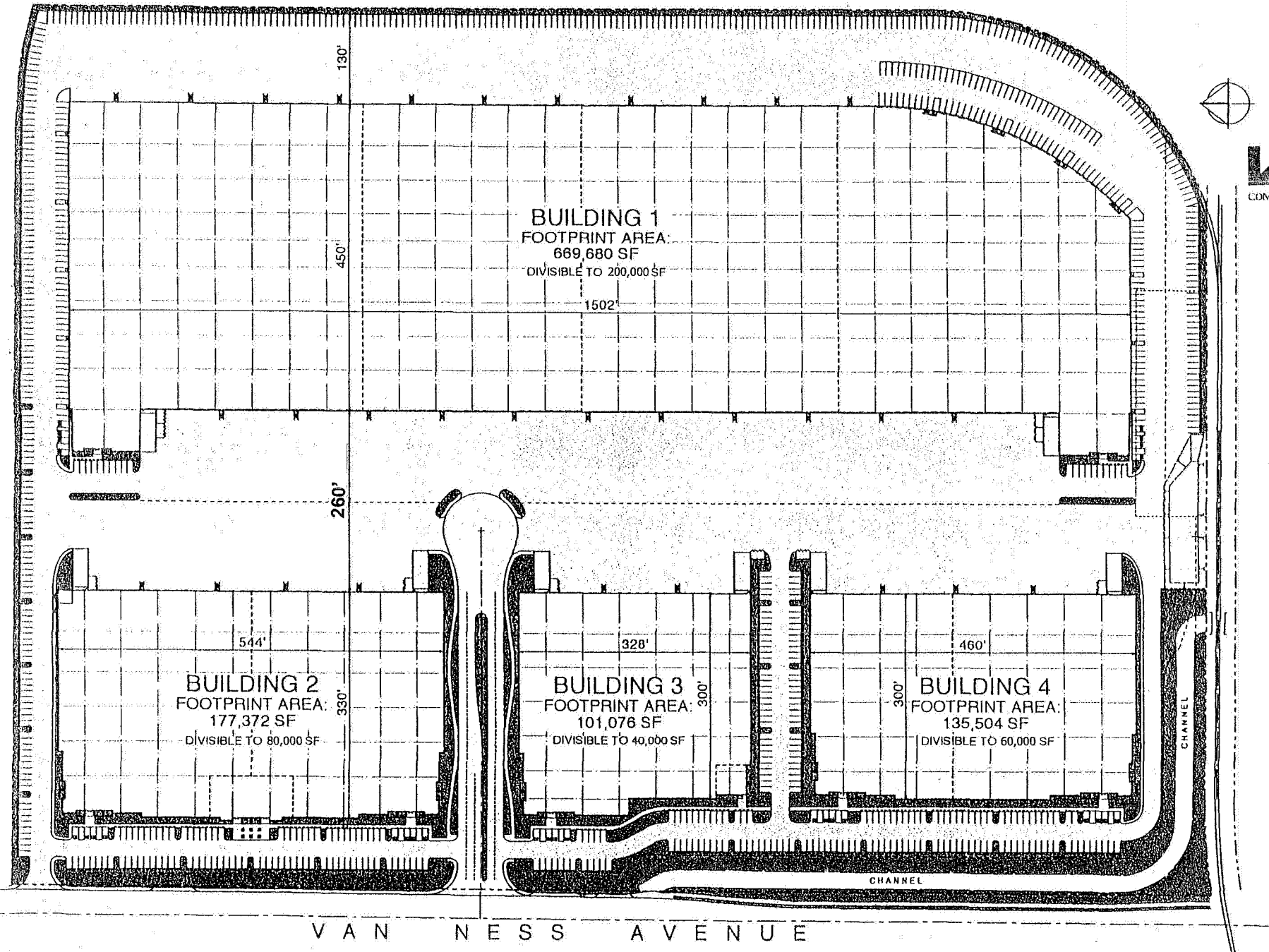
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PROLOGIS PARK TORRANCE



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PROLOGIS PARK TORRANCE

19600 - 19988 VAN NESS AVENUE, TORRANCE, CA

VII. PROPERTY OWNERSHIP INFORMATION





the rising importance of distribution in the new economy

Profile and Mission Statement

ProLogis is the leading global provider of integrated distribution facilities and services, with more than 1,600 distribution facilities owned and operating throughout North America and Europe. ProLogis has built the industry's first and only global network of distribution facilities with the primary objective being to build shareholder value by becoming the leading provider of distribution facilities and services to the world's largest distribution users. The company is achieving this objective through the ProLogis Operating System™, and its commitment to be "The Global Distribution Solution" by providing exceptional corporate distribution services and facilities to meet customer expansion and reconfiguration needs globally.